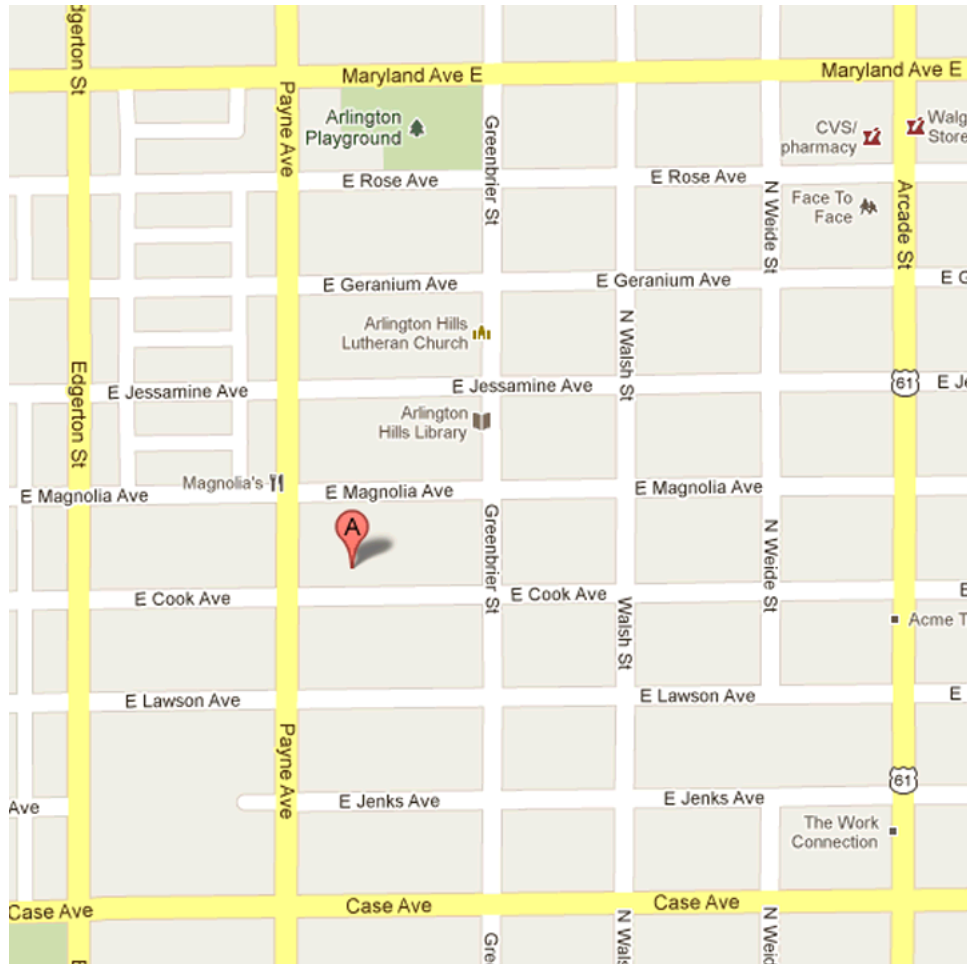


City of Saint Paul • HRA

Residence Remodel
653 Cook Avenue
Saint Paul, MN



1 Location Map
SCALE: NTS

| PROJECT TEAM | |
|--------------|--|
| PROJECT: | Residence Remodel |
| LOCATION: | 653 Cook Avenue Saint Paul, MN |
| OWNER: | City of Saint Paul HRA Sarah Corn, Project Manager 25 west 4th Street Saint Paul, MN 55102 651.266.6552 --@ci.StPaul.mn.us |
| ARCHITECT: | LUNNING WENDE ASSOCIATES, INC. 275 EAST FOURTH STREET, SUITE 620 SAINT PAUL, MN 55101 Scott Wend PHONE: 651.221.0915 FAX: 651.222.6259 Scott@LunningWende.com |

| DRAWING INDEX | |
|---------------------|---|
| GENERAL INFORMATION | |
| G101 | Title Sheet |
| SURVEY | |
| 10-12 | Survey |
| LANDSCAPE | |
| L001 | Existing Conditions/Site Grading |
| L002 | Landscape Plan |
| L003 | Planting Plan |
| L004 | Landscape Section Details |
| ARCHITECTURAL DEMO | |
| AD001 | OMIT - Demo Site Plan |
| AD101 | Basement/First Floor Demo Plans |
| AD102 | Second Floor/Roof Demo Plan |
| AD121 | Demo Reflected Ceiling Plans |
| AD201 | Demo elevations |
| ARCHITECTURAL | |
| A001 | Site Plan |
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| STRUCTURAL | |
| S001 | Structural Letter/ Bath Framing Notes |
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City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|---|
| R1 | 10/24/12 | | Revisions to sheets listed in Drawing Index |

| No. | Date | Issue Notes |
|--|------|-------------|
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. SIGNATURE: NAME: SCOTT WENDE LICENSE NUMBER: 118071 DATE: October 24, 2012 | | |

| | |
|-------------|---|
| Design Firm | Lunning Wend Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259 |
|-------------|---|

| | |
|------------|--|
| Consultant | |
|------------|--|

| | |
|----------------------|--------------|
| Construction Manager | Gail Merriam |
|----------------------|--------------|

| | |
|---------------|--|
| Project Title | City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN |
|---------------|--|

| | |
|---------------|-------------|
| Drawing Title | Title Sheet |
|---------------|-------------|

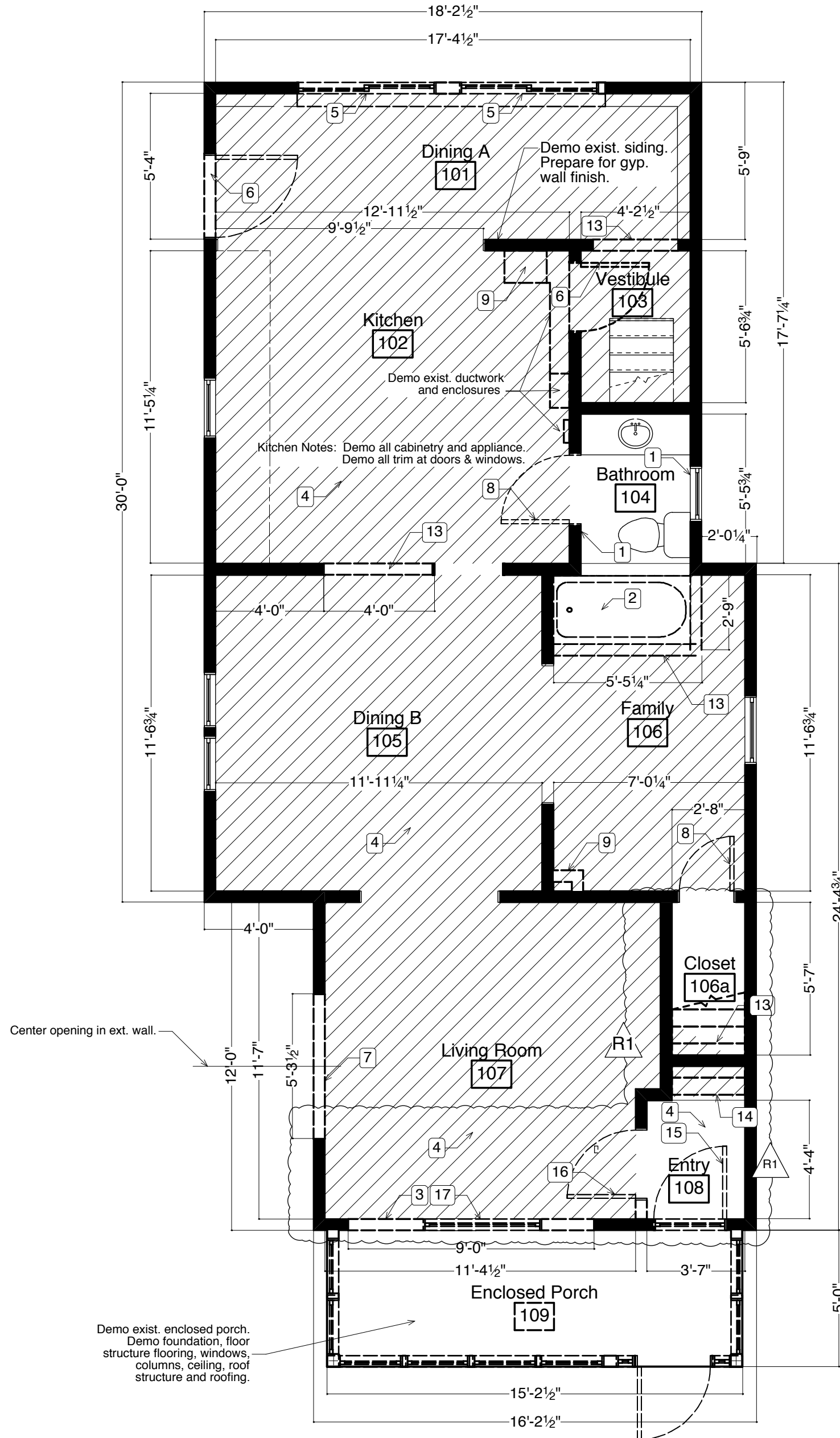
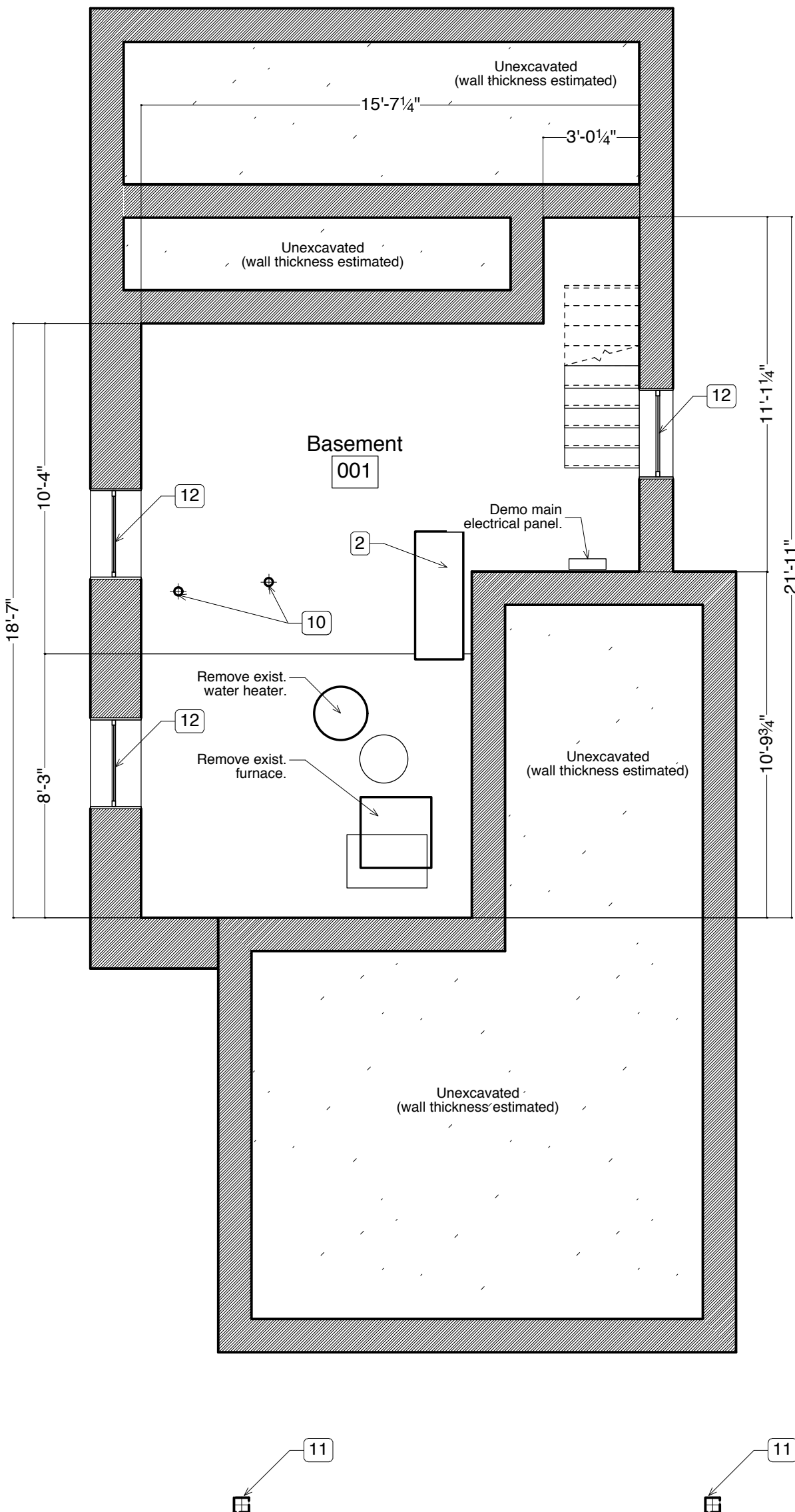
| | | | |
|-----------------|--------------|-------------|----------|
| Project Manager | Scott Wend | Project ID | 2012-04 |
| Drawn By | JDC-CN | Scale | No scale |
| Reviewed By | | Drawing No. | G101 |
| Date | 20121024 | | |
| File Name | 653 Cook.vwx | | |

GENERAL NOTES - EXISTING/DEMO :

1. FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
2. DEMO WORK SHOWN DASHED
3. SEE SPECIFICATIONS FOR CONSTRUCTION WASTE REMOVAL & LANDFILL DIVERSION INSTRUCTIONS
4. REMOVE LANDSCAPING PER HRA & ST. PAUL FORESTRY RECOMMENDATIONS.
5. TEST FOR RADON LEVELS IN EXISTING BASEMENT (SEE SPEC)
6. CLEAN, SAND & REFINISH ALL EXISTING STORED MAT'L'S FOR REUSE (SEE SPEC)
7. REMOVE EXISTING ASBESTOS SIDING WHENEVER/WHEREVER PRESENT.
8. MODIFY, RELOCATE OR CAP EXIST MECH & ELEC AS REQ'D
9. VERIFY STRUCT. INTEGRITY OF ALL EXST. FRAMING, COLUMNS & BEAMS.
10. COORDINATE ALL STRUCTURAL MODIFICATIONS W/ QUALIFIED ENGINEERS
11. VERIFY COND. & CODE COMPLIANCE OF ALL MECH. & ELEC. FIXTURES & OUTLETS. (SEE HRA CODE REPORT)
12. SEE NEW PLANS TO COORDINATE LOCATION & DIMENSIONS OF NEW OPENINGS.
13. UPON REMOVAL OF EXIST. FLOOR FINISHES, FIELD VERIFY CONDITION OF EXIST. SUBSTRATE, AND IF HARDWOOD FLOOR EXSTS.
14. REMOVE & RETAIN ALL EXST. INTERIOR TRIM BEFORE DEMO-ING INTERIOR WALLS. REUSE AS NEEDED.

Demolition Notes:

1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
2. Demo existing siding. Verify sheathing condition for repair.
3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
4. Clean and tuckpoint existing foundation as req'd.



Demo Plan Keynotes

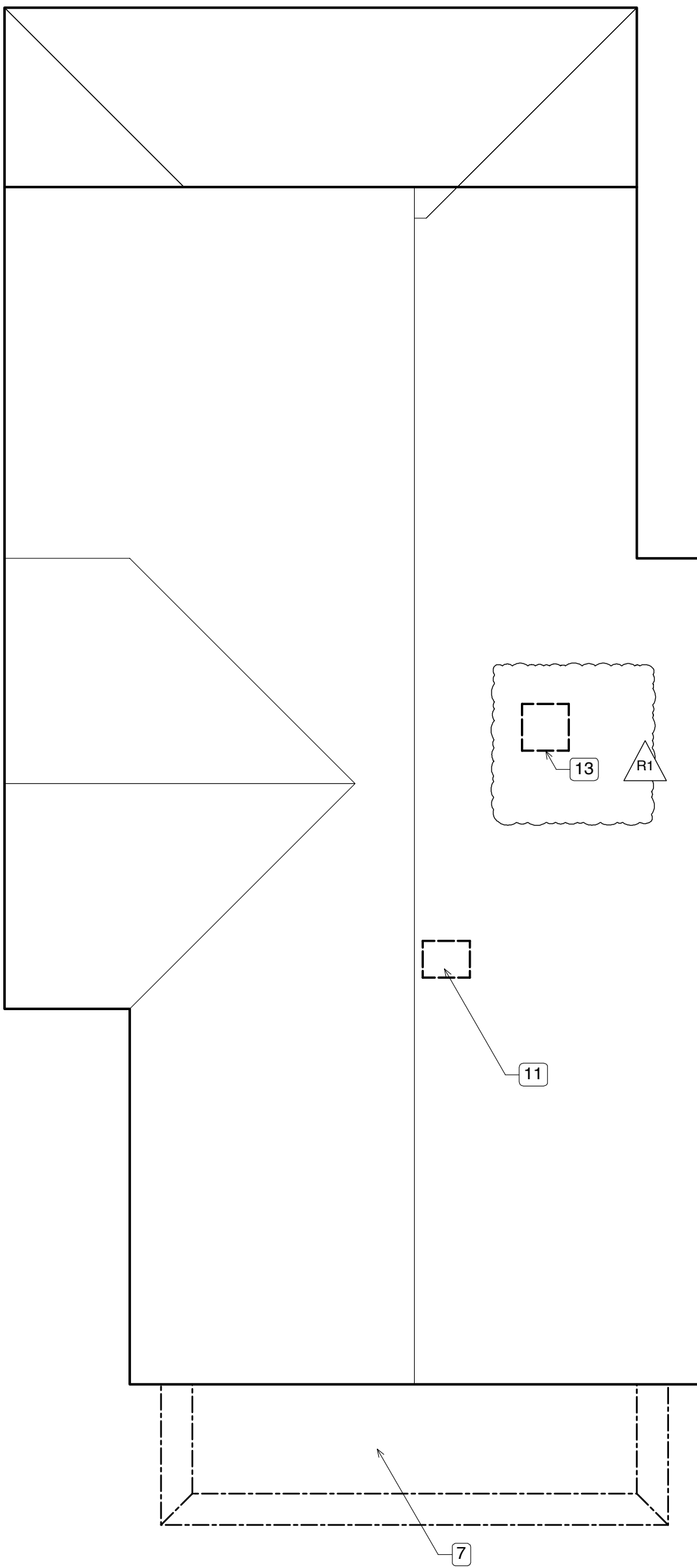
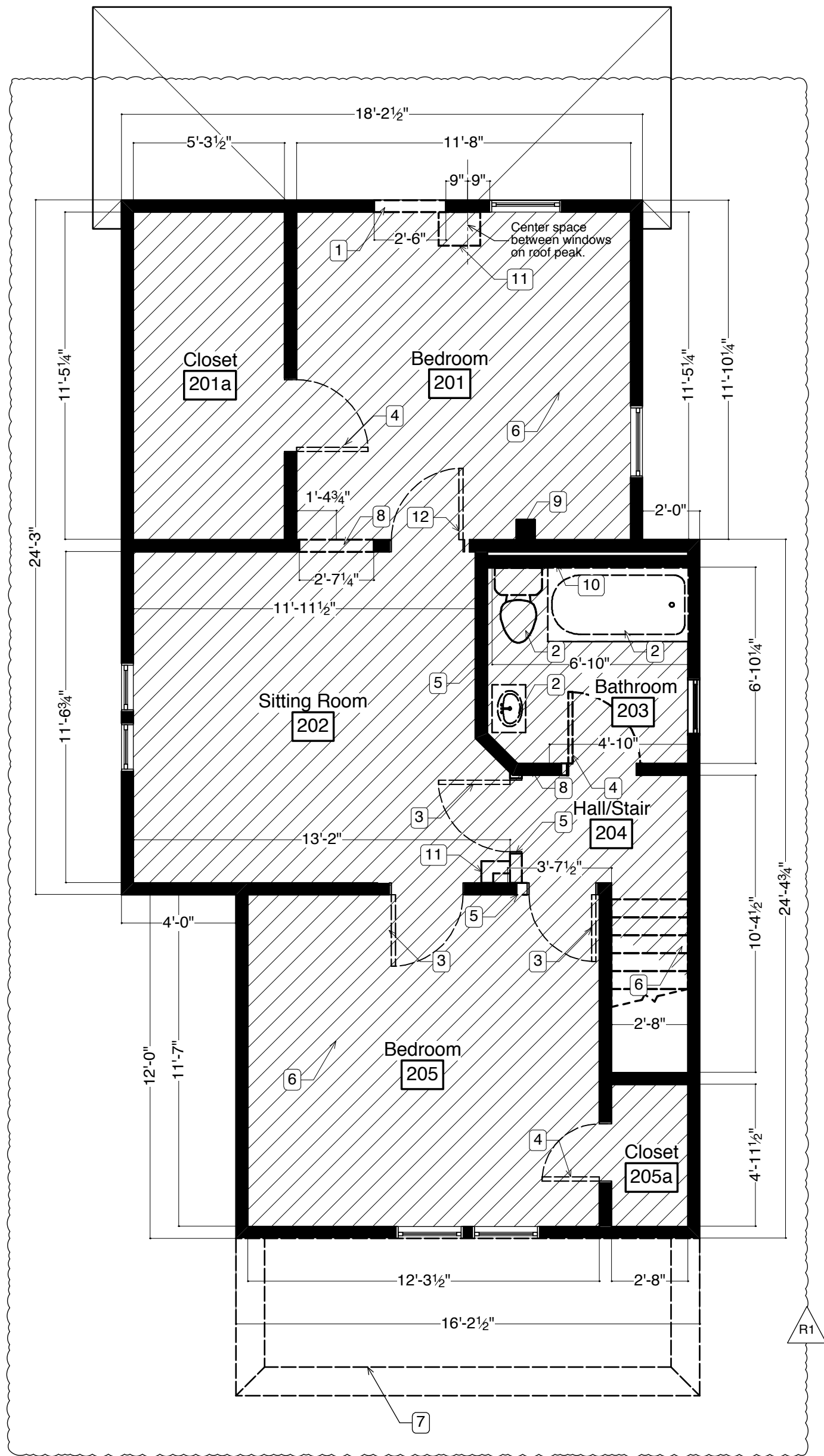
1. Demo exist. trim.
2. Remove exist. plumbing fixture. Remove exist. piping and venting as req'd.
3. Remove portion of wall for new opening; prep with new header
4. Remove flooring to wood floor. Verify condition of wood floor if present. Hatch indicates extent of flooring demo.
5. Demo exist. wall and openings as shown. Save millwork for reuse.
6. Demo exist. door & trim.
7. Remove ext. siding, sheathing & framing. Frame & prepare for new opening. See plans for location. See schedule for size.
8. Remove exist. door. Prep opening for new door.
9. Demo exist. chimney, flue and walls as shown. Verify structural integrity prior to demo.
10. Demo column. Provide temporary support.
11. Demo exist. porch foundation.
12. Remove exist. window unit. Prep exist. opening for glass block or masonry infill.
13. Remove exist. GWB & framing to provide new opening, relocate exist. plumb. & mech. as req'd. See new.
14. Remove existing stair; prep landings and ceiling for new work
15. Remove exist. door. Prep opening for wall infill.
16. Remove existing door and portion of wall; prep area for new stair
17. Salvage existing window; patch and prep wall for window relocation; provide new header and sill for relocated window

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|--|----------|--------------|---|
| <div><div></div><div>R1</div></div> | 10/24/12 | | Entry 108 demolition and prep for new stair |
| | | | |
| No. | Date | Issue Notes | |
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. | | | |
| SIGNATURE: <div>Scott Wende</div> | | | |
| NAME: SCOTT WENDE LICENSE NUMBER: 118071 | | | |
| DATE: October 24, 2012 | | | |
| Design Firm | | | |
| <div><div><div>Lunning Wende Associates, Inc.</div></div><div>Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</div></div> | | | |
| Consultant | | | |
| | | | |
| Construction Manager | | | |
| Gail Merriam | | | |
| Project Title | | | |
| City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN | | | |
| Drawing Title | | | |
| Basement/First Floor Demo Plans | | | |
| Project Manager | | Project ID | |
| Scott Wende | | 2012-04 | |
| Drawn By | | Scale | |
| JDC-CN | | 1/4" = 1'-0" | |
| Reviewed By | | Drawing No. | |
| Date | | AD101 | |
| 20121024 | | | |
| File Name | | | |
| 653 Cook.vwx | | | |

GENERAL NOTES - EXISTING/DEMO :
1. FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
2. DEMO WORK SHOWN DASHED
3. SEE SPECIFICATIONS FOR CONSTRUCTION WASTE REMOVAL & LANDFILL DIVERSION INSTRUCTIONS
4. REMOVE LANDSCAPING PER HRA & ST. PAUL FORESTRY RECOMMENDATIONS.
5. TEST FOR RADON LEVELS IN EXISTING BASEMENT (SEE SPEC)
6. CLEAN, SAND & REFINISH ALL EXISTING STORED MAT'L S FOR REUSE (SEE SPEC)
7. REMOVE EXISTING ASBESTOS SIDING WHENEVER/WHEREVER PRESENT.
8. MODIFY, RELOCATE OR CAP EXIST MECH & ELEC AS REQ'D
9. VERIFY STRUCT. INTEGRITY OF ALL EXST. FRAMING, COLUMNS & BEAMS.
10. COORDNATE ALL STRUCTURAL MODIFICATIONS W/ QUALIFIED ENGINEERS
11. VERIFY COND. & CODE COMPLIANCE OF ALL MECH. & ELEC. FIXTURES & OUTLETS. (SEE HRA CODE REPORT)
12. SEE NEW PLANS TO COORDINATE LOCATION & DIMENSIONS OF NEW OPENINGS.
13. UPON REMOVAL OF EXIST. FLOOR FINISHES, FIELD VERIFY CONDITION OF EXIST. SUBSTRATE, AND IF HARDWOOD FLOOR EXSTS.
14. REMOVE & RETAIN ALL EXST. INTERIOR TRIM BEFORE DEMO-ING INTERIOR WALLS. REUSE AS NEEDED.

Demolition Notes:
1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
2. Demo existing siding. Verify sheathing condition for repair.
3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
4. Clean and tuckpoint existing foundation as req'd.



Demo Floor Plan Keynotes

- 1 Remove ext. siding, sheathing & framing. Frame & prepare for new window opening.
- 2 Remove exist. plumbing fixture. Remove exist. piping and venting as req'd.
- 3 Demo exist. door & trim.
- 4 Remove exist. door. Prep opening for new door.
- 5 Demo exist. wall and openings as shown. Save millwork for reuse.
- 6 Remove flooring to wood floor. Verify condition of wood floor if present. Hatch indicates extent of flooring demo.
- 7 Demo exist. porch roof and structure.
- 8 Demo wall. Frame & prepare for new door opening.
- 9 Demo millwork at plumbing vent.
- 10 Demo wall tile throughout bathroom.
- 11 Demo exist. chimney, flue and walls as shown. Verify structural integrity prior to demo.
- 12 Demo existing door and frame, salvage trim for reuse.
- 13 Demo roof as needed to prepare for new skylight


City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|--|
| R1 | 10/24/12 | | Revision includes bathroom plan and add bedroom wall with new closet |

| No. | Date | Issue Notes |
|-----|------|-------------|
|-----|------|-------------|

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Scott Wendt*
NAME: SCOTT WENDE
LICENSE NUMBER: 118071
DATE: October 24, 2012

Design Firm
 Lunning Wende Associates, Inc.
275 Fourth Street East, Suite 620
Saint Paul, MN 55101
P: 651.221.0915 F: 651.222.6259

Consultant

Construction Manager
Gail Merriam

Project Title
City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

Drawing Title
Second Floor/Roof Demo Plan

| | |
|--------------------------------|-----------------------|
| Project Manager Scott Wendt | Project ID 2012-04 |
|--------------------------------|-----------------------|

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| Drawn By JDC-CN | Scale 1/4" = 1'-0" |
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| Reviewed By | Drawing No. |
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| Date 20121024 | AD102 |
| File Name 653 Cook.vwx | |

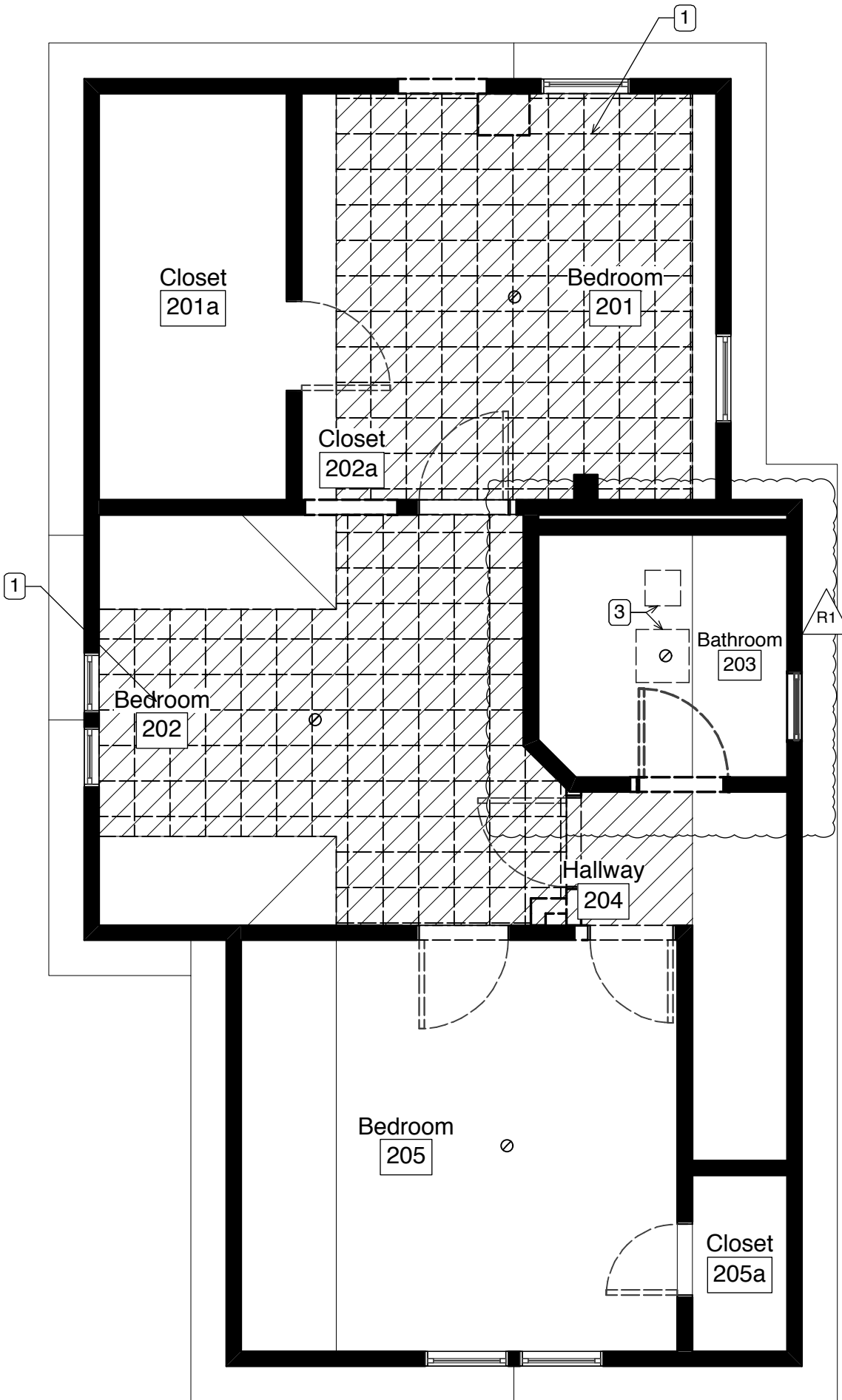
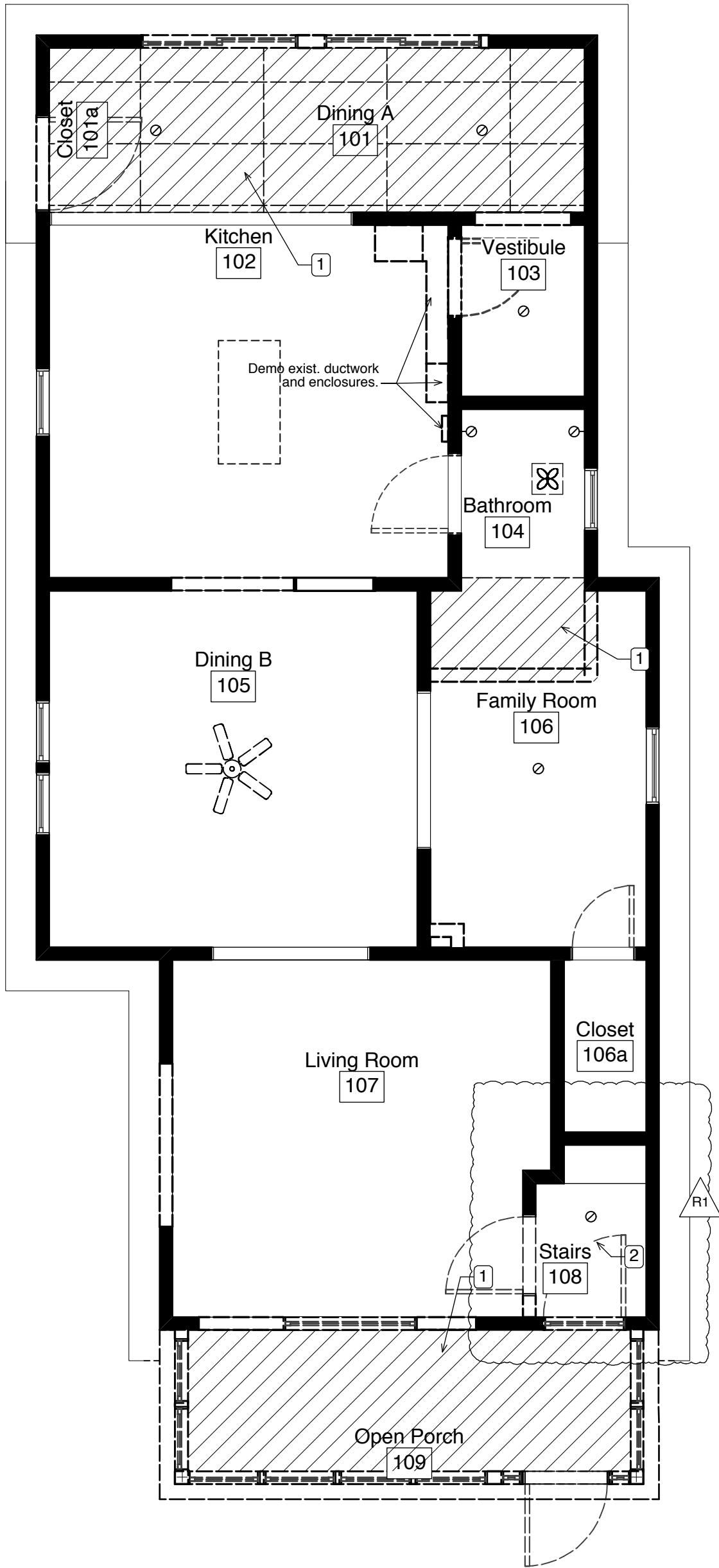
- GENERAL NOTES - EXISTING/DEMO :**
1. FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
 2. DEMO WORK SHOWN DASHED
 3. SEE SPECIFICATIONS FOR CONSTRUCTION WASTE REMOVAL & LANDFILL DIVERSION INSTRUCTIONS
 4. REMOVE LANDSCAPING PER HRA & ST. PAUL FORESTRY RECOMMENDATIONS.
 5. TEST FOR RADON LEVELS IN EXISTING BASEMENT (SEE SPEC)
 6. CLEAN, SAND & REFINISH ALL EXISTING STORED MATLS FOR REUSE (SEE SPEC)
 7. REMOVE EXISTING ASBESTOS SIDING WHENEVER/WHEREVER PRESENT.
 8. MODIFY, RELOCATE OR CAP EXIST MECH & ELEC AS REQ'D
 9. VERIFY STRUCT. INTEGRITY OF ALL EXST. FRAMING, COLUMNS & BEAMS.
 10. COORDINATE ALL STRUCTURAL MODIFICATIONS W/ QUALIFIED ENGINEERS
 11. VERIFY COND. & CODE COMPLIANCE OF ALL MECH. & ELEC. FIXTURES & OUTLETS. (SEE HRA CODE REPORT)
 12. SEE NEW PLANS TO COORDINATE LOCATION & DIMENSIONS OF NEW OPENINGS.
 13. UPON REMOVAL OF EXIST. FLOOR FINISHES, FIELD VERIFY CONDITION OF EXIST. SUBSTRATE, AND IF HARDWOOD FLOOR EXSTS.
 14. REMOVE & RETAIN ALL EXST. INTERIOR TRIM BEFORE DEMO-ING INTERIOR WALLS. REUSE AS NEEDED.

- Demolition Notes:**
1. Replace all windows. Verify condition for trim repair. See plans for noted exceptions.
 2. Demo existing siding. Verify sheathing condition for repair.
 3. Demo exist. roof shingles and underlayment. Repair sheathing as needed.
 4. Clean and tuckpoint existing foundation as req'd.

- Demo Reflected Ceiling Plan Notes:**
1. Demo all existing lighting fixtures.

Demo Reflected Ceiling Plan Keynotes

- ① Hatch indicates extent of ceiling demo. Remove ceiling tiles where present.
- ② Ceiling at new first floor stair landing will need to be raised in order to meet 80" min headroom clearance.
- ③ Prepare hole in ceiling for new skylight and ceiling fan fixture



1 First Floor Demo Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

2 Second Floor Demo Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|--|
| R1 | 10/24/12 | | Revision to ceiling at 1st floor stairs and 2nd floor bathroom |

| No. | Date | Issue Notes |
|---|------|-------------|
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. SIGNATURE: <i>Scott Wende</i> NAME: SCOTT WENDE LICENSE NUMBER: 118071 DATE: October 24, 2012 | | |

| | |
|-------------|--|
| Design Firm | Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259 |
|-------------|--|

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|------------|--|
| Consultant | |
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|----------------------|--------------|
| Construction Manager | Gail Merriam |
|----------------------|--------------|

| | |
|---------------|--|
| Project Title | City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN |
|---------------|--|

| | |
|---------------|------------------------------|
| Drawing Title | Demo Reflected Ceiling Plans |
|---------------|------------------------------|

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|--------------------------------|-----------------------------|
| Project Manager Scott Wende | Project ID 2012-04 |
| Drawn By JDC-CN | Scale 1/4" = 1'-0" |
| Reviewed By | Drawing No. AD121 |
| Date 20121024 | |
| File Name 653 Cook.vwx | |

GENERAL NOTES - NEW CONSTRUCTION :

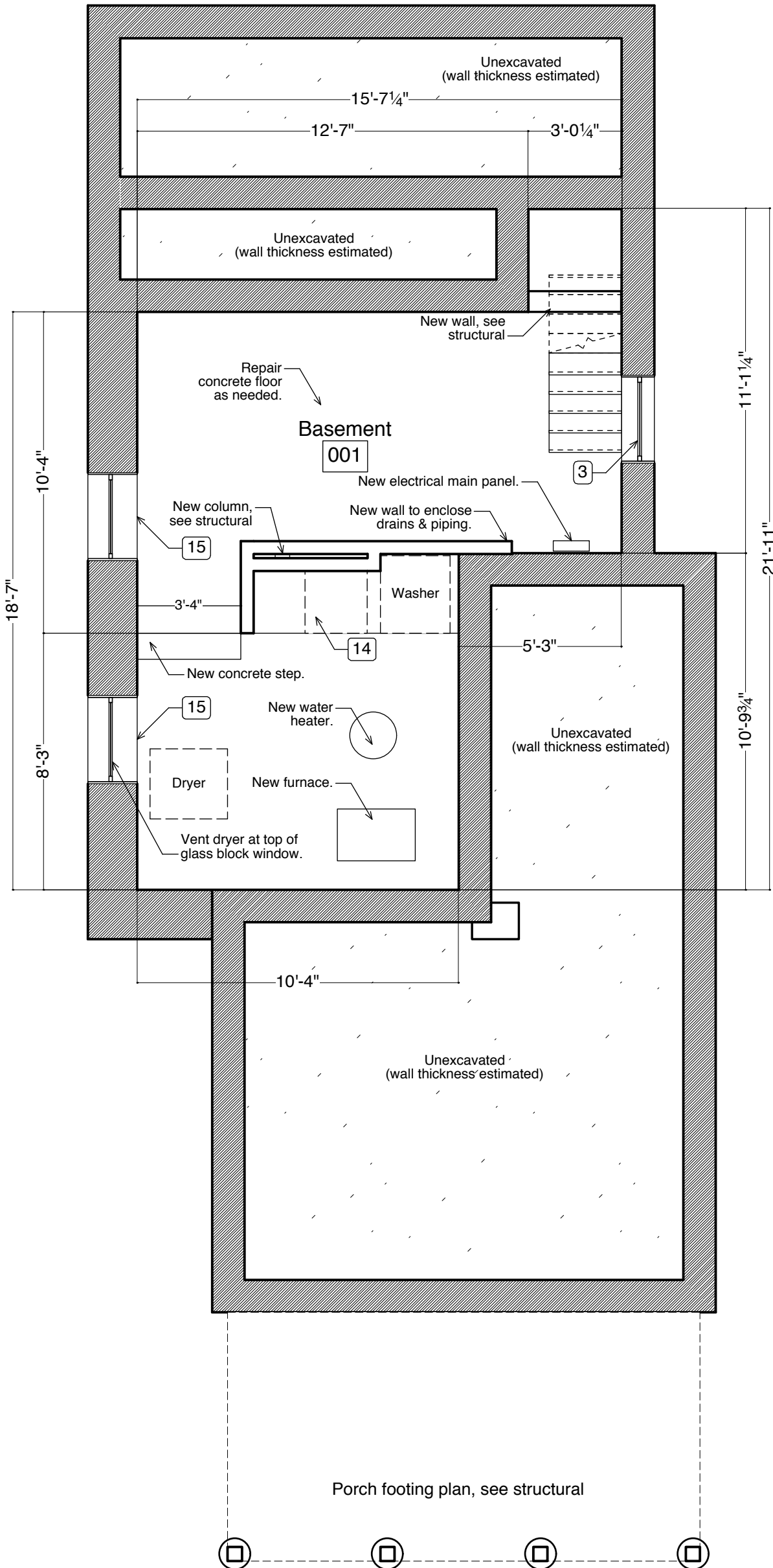
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
5. FULLY ENCAPSULATED LEAD PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)
7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)
8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)
9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.
10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

New Construction Notes:

1. All Roofs: new roofing and vents to code. See spec.
2. New siding and house trim. See spec for type.
3. All windows are replacement windows. Unless noted otherwise.

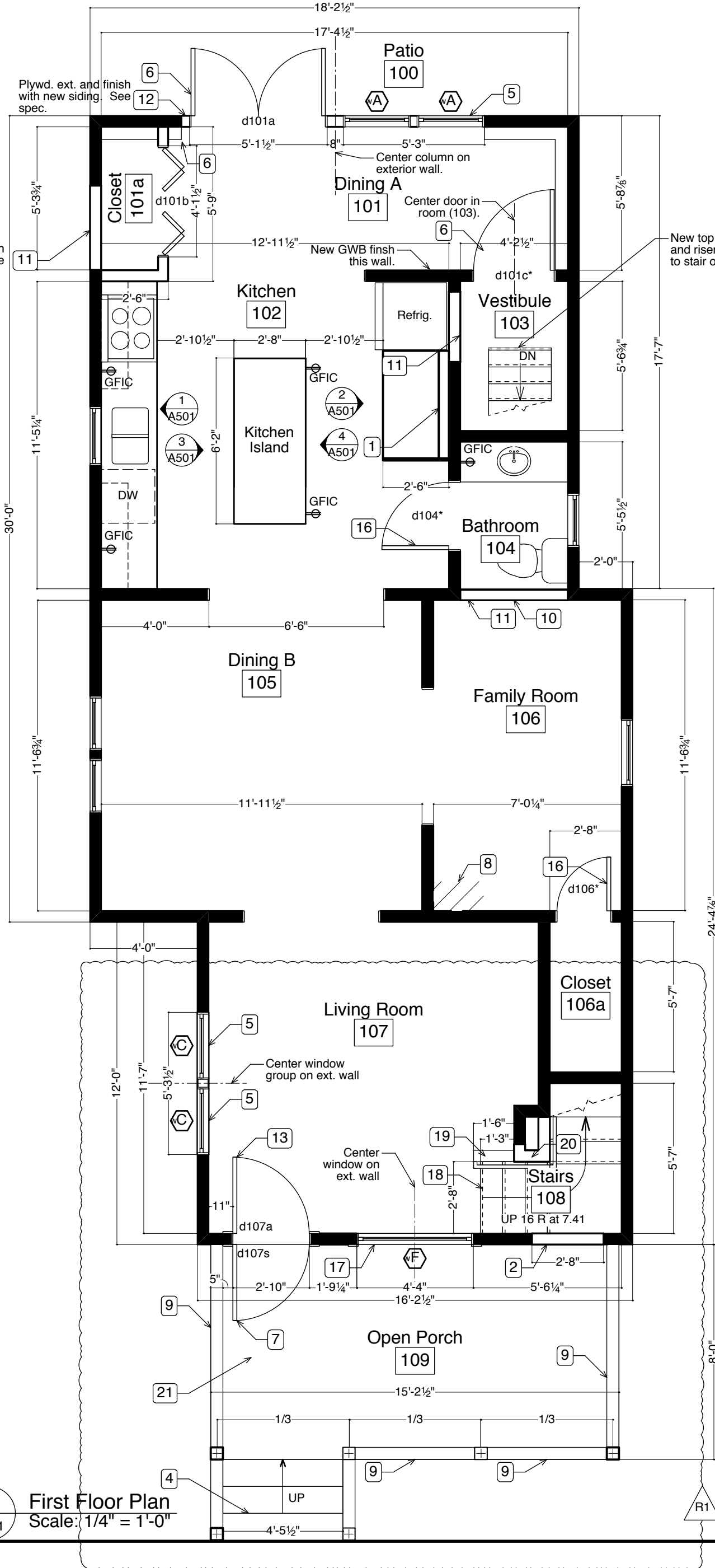
Floor Plan Keynotes

1. Frame wall to allow standard depth cabinets to flush out with refrigerator. See spec.
2. New infill wall at demolished door and transom
3. Masonry fill exist. opening. Match exterior if possible.
4. New concrete stair
5. New window in new opening. Match exist. head height, trim & finish.
6. New door in new frame. See spec.
7. New storm/screen door. See spec.
8. Repair floor & patch in new flooring at former chimney location.
9. New exterior deck railing per code. See spec.
10. Add sound insulation where possible.
11. Frame existing opening. GWB each side finish and base trim to match adjacent wall.
12. Frame existing openings to allow doors and windows shown. See schedule. GWB each side finish and base trim to match adjacent wall.
13. New door with transom window; match top of transom with top of transom for window type F. Match interior and exterior trim.
14. New laundry tub. Top edge 36" above lower floor level.
15. Glass block this opening. Install one vented block unit.
16. New door in exist. frame. Match int. & ext. trim.
17. Replacement window in exist. frame. Replace or repair ext. & int. trim to match. Transom stained glass to remain. Repair stained glass. Install new exterior storm window.
18. New wood stair and handrail; 10" min stair treads and 7.41" risers (16 risers thus); landing at fourth riser; verify 80" minimum clearance (see section 1009.2 Headroom of the 2009 IBC for additional reference); adjust ceiling structure as needed to accommodate new stair
19. New partial height wall
20. New infill wall to ceiling
21. New open porch: new footings, structure, columns, floor, railing, ceiling and roof.



Plywd. ext. and finish with new siding. See spec.


Plywd. ext. and finish with new siding. See spec.



1 Basement Floor Plan
Scale: 1/4" = 1'-0"

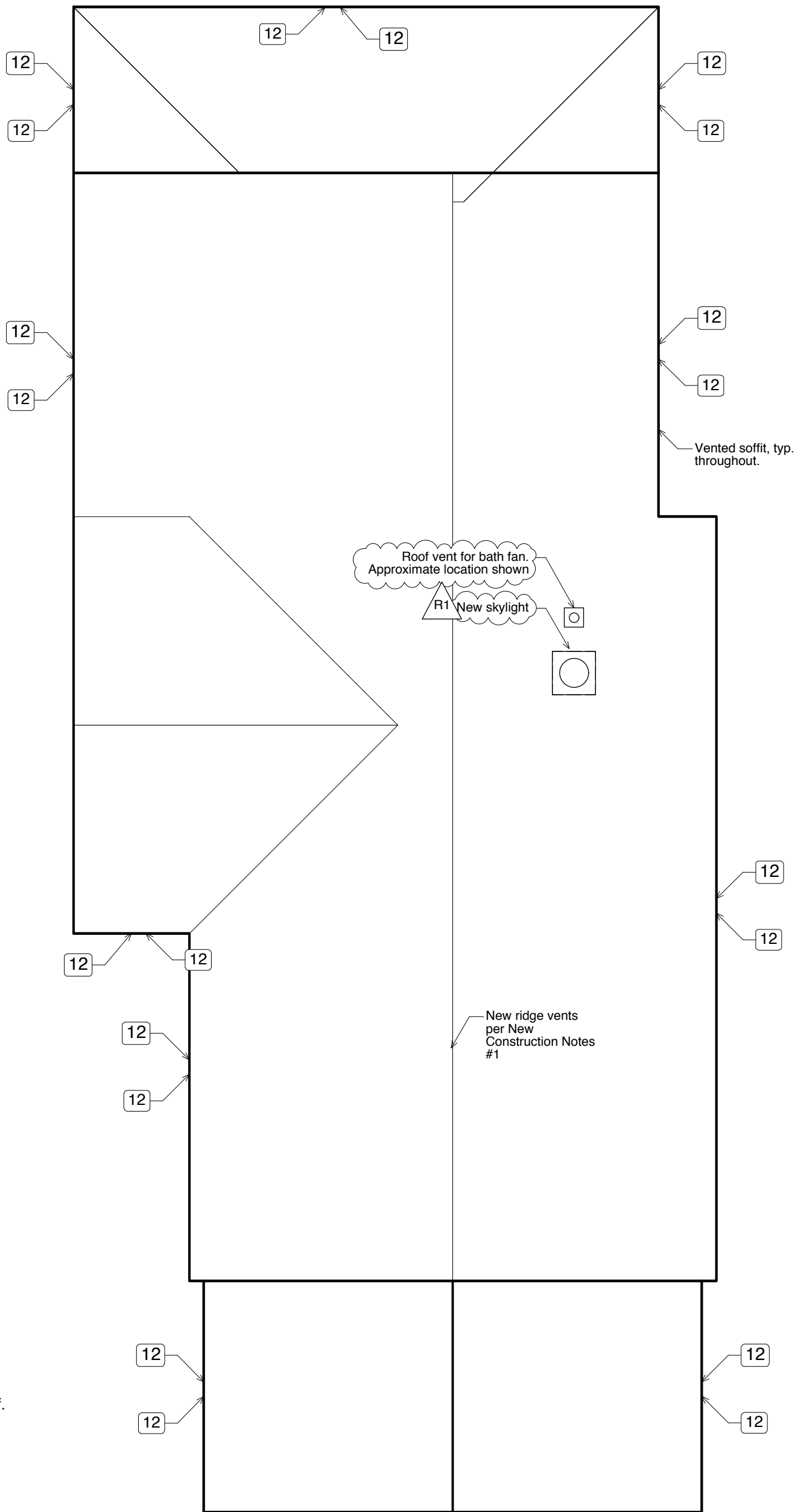
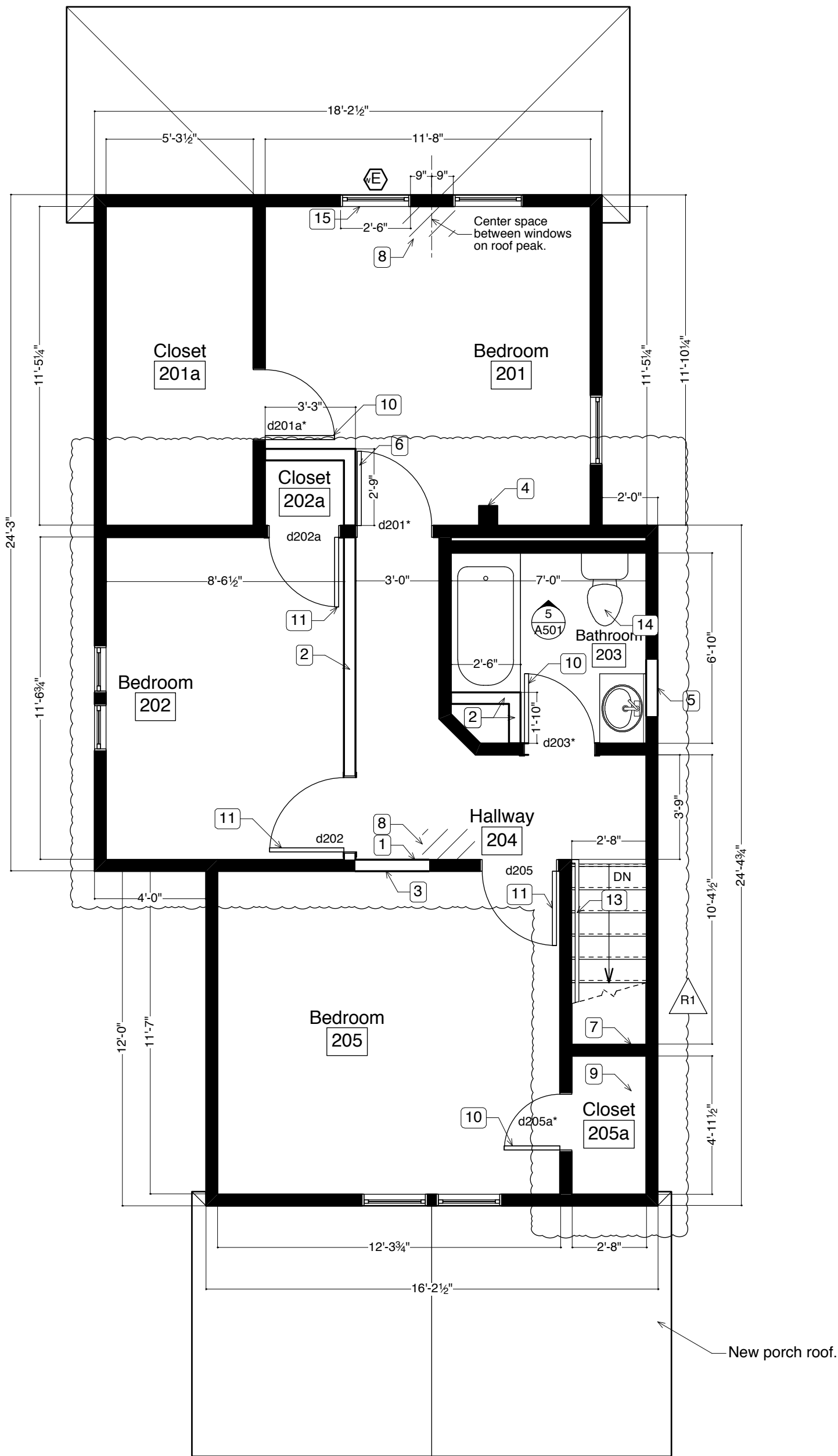
2 First Floor Plan
Scale: 1/4" = 1'-0"

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|---|----------|--------------|---|
| <div>R1</div> | 10/24/12 | | Revision to Porch 109, south façade and Stair 108 |
| | | | |
| No. | Date | Issue Notes | |
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. | | | |
| SIGNATURE: <div>Scott Wende</div> | | | |
| NAME: SCOTT WENDE | | | |
| LICENSE NUMBER: 118071 | | | |
| DATE: October 24, 2012 | | | |
| Design Firm | | | |
| <div>Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</div> | | | |
| Consultant | | | |
| Construction Manager | | | |
| Gail Merriam | | | |
| Project Title | | | |
| City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN | | | |
| Drawing Title | | | |
| Basement/First Floor Plans | | | |
| Project Manager | | Project ID | |
| Scott Wende | | 2012-04 | |
| Drawn By | | Scale | |
| JDC-CN | | 1/4" = 1'-0" | |
| Reviewed By | | Drawing No. | |
| Date | | A101 | |
| 20121024 | | | |
| File Name | | | |
| 653 Cook.vwx | | | |

GENERAL NOTES - NEW CONSTRUCTION :
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
5. FULLY ENCAPSULATED LEAD-PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)
7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)
8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)
9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.
10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

New Construction Notes:
1. All Roofs: new roofing and vents to code. See spec.
2. New siding and house trim. See spec for type.
3. All windows are replacement windows. Unless noted otherwise.




Second Floor and Roof Plan Keynotes

- 1 Add sound insulation where possible.
- 2 New GWB and wood stud wall; Add sound insulation where possible.
- 3 Frame existing opening. GWB each side finish and base trim to match adjacent wall.
- 4 New GWB enclosure around plumbing vent.
- 5 New infill wall at demolished window; insulate and match surrounding finishes each side
- 6 New door in widened frame. Match int. & ext. trim. Verify if possible
- 7 Revise floor/structure to meet headroom clearance at stair
- 8 Repair floor & patch in new flooring at former chimney location.
- 9 Closet floor will need to be raised in order to meet headroom clearance for new first floor stair landing
- 10 New door in exist. frame. Match int. & ext. trim.
- 11 New door in new frame. See spec.
- 12 New gutter and downspout. See A201 for loc. See spec.
- 13 New handrail to code.
- 14 New toilet at new plumbing location.
- 15 New window in new opening. Match exist. head height, trim & finish.

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|---|
| R1 | 10/24/12 | | Revision to Bathroom203 and addition of walls for Bedroom 202 and Closet 202a |

| No. | Date | Issue Notes |
|---|---------------------------|-------------|
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. SIGNATURE: <i>Scott Wendt</i> NAME: SCOTT WENDE LICENSE NUMBER: 118071 DATE: October 24, 2012 | | |
| Design Firm  Lunning Wendt Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259 | | |
| Consultant | | |
| Construction Manager Gail Merriam | | |
| Project Title City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN | | |
| Drawing Title Second Floor/Roof plans | | |
| Project Manager Scott Wendt | Project ID 2012-04 | A102 |
| Drawn By JDC-CN | Scale 1/4" = 1'-0" | |
| Reviewed By | Drawing No. | |
| Date 20121024 | File Name 653 Cook.vwx | |

GENERAL NOTES - NEW CONSTRUCTION :
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
5. FULLY ENCAPSULATED LEAD PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)
7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)
8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)
9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.
10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

New Construction Notes:
1. All Roofs: new roofing and vents to code. See spec.
2. New siding and house trim. See spec for type.
3. All windows are replacement windows. Unless noted otherwise.

Reflected Ceiling Plan Notes:
1. Center light fixtures in room unless noted otherwise.

Reflected Ceiling Plan Keynotes

- 1 New ext. wall sconce light fixture. See spec.
2 New ext. pendant light fixture. See Spec.
3 New ceiling fan / light fixture. See spec.
4 New pendant light fixture. See spec.
5 New recessed bath fan. See spec.
6 New int. flush mount light fixture. See spec.
7 Hatch indicates extent of new ceiling. Typ.
8 New vanity light fixture. See spec.
9 New wall sconce.
10 Center on opening.
11 New int. semi-flush mount light fixture. See spec.
12 Modify eave detail at gutter to support gutters.
13 New skylight - Square Polycarbonate Skydome (Clear - .060"x24"x24" - Menards Model 2424SKY)
14 Ceiling will need to be raised at stair landing in order to accomodate 80" min headroom clearance at stairways

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|---|
| | | | |
| R1 | 10/24/12 | | Revised ceiling at Stair 108 and Bathroom 203 |
| | | | |

| No. | Date | Issue Notes |
|---|------|-------------|
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. | | |
| SIGNATURE: <i>Scott Wende</i> | | |
| NAME: SCOTT WENDE LICENSE NUMBER: 118071 | | |
| DATE: October 24, 2012 | | |

| | |
|-------------|--|
| Design Firm | Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259 |
|-------------|--|

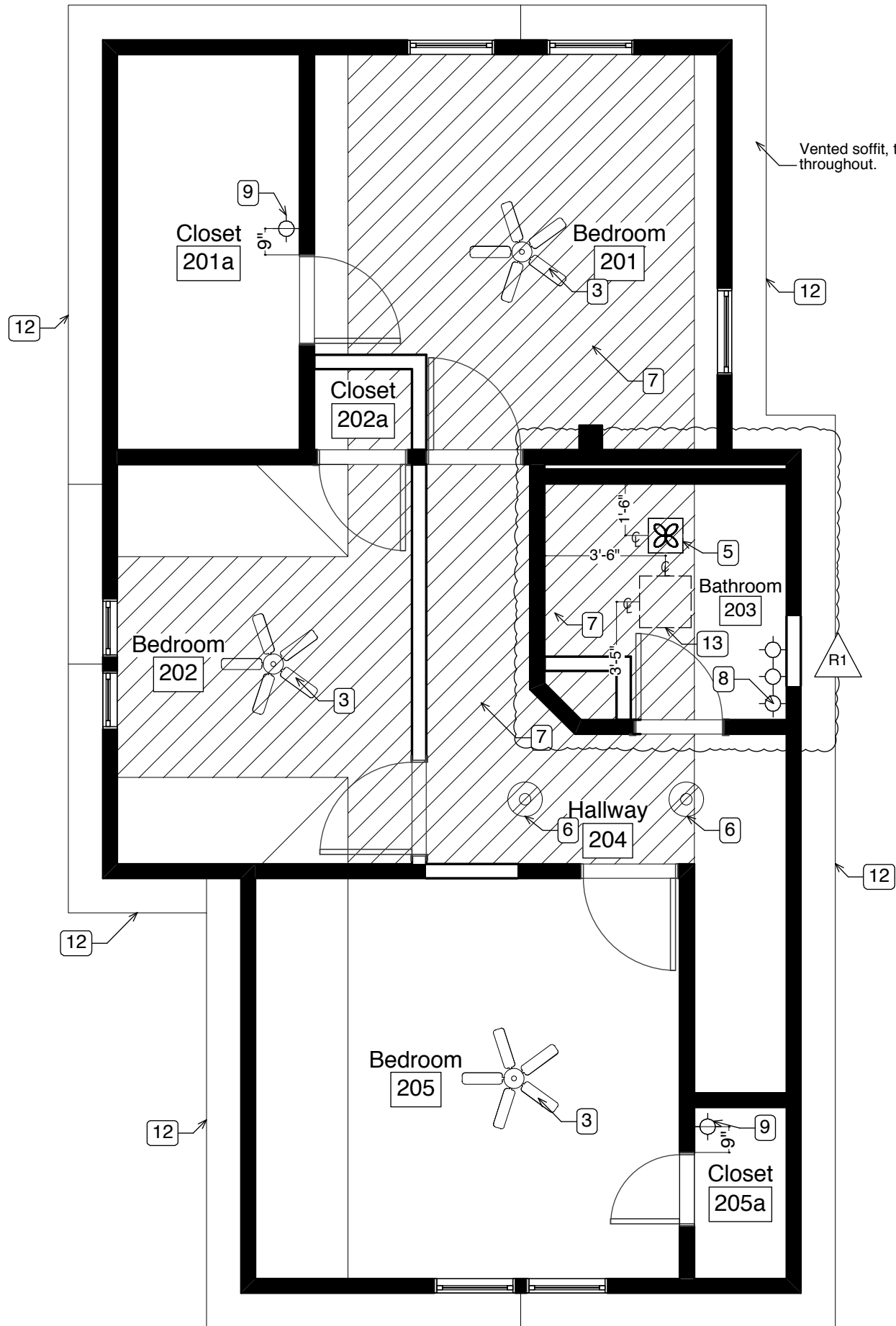
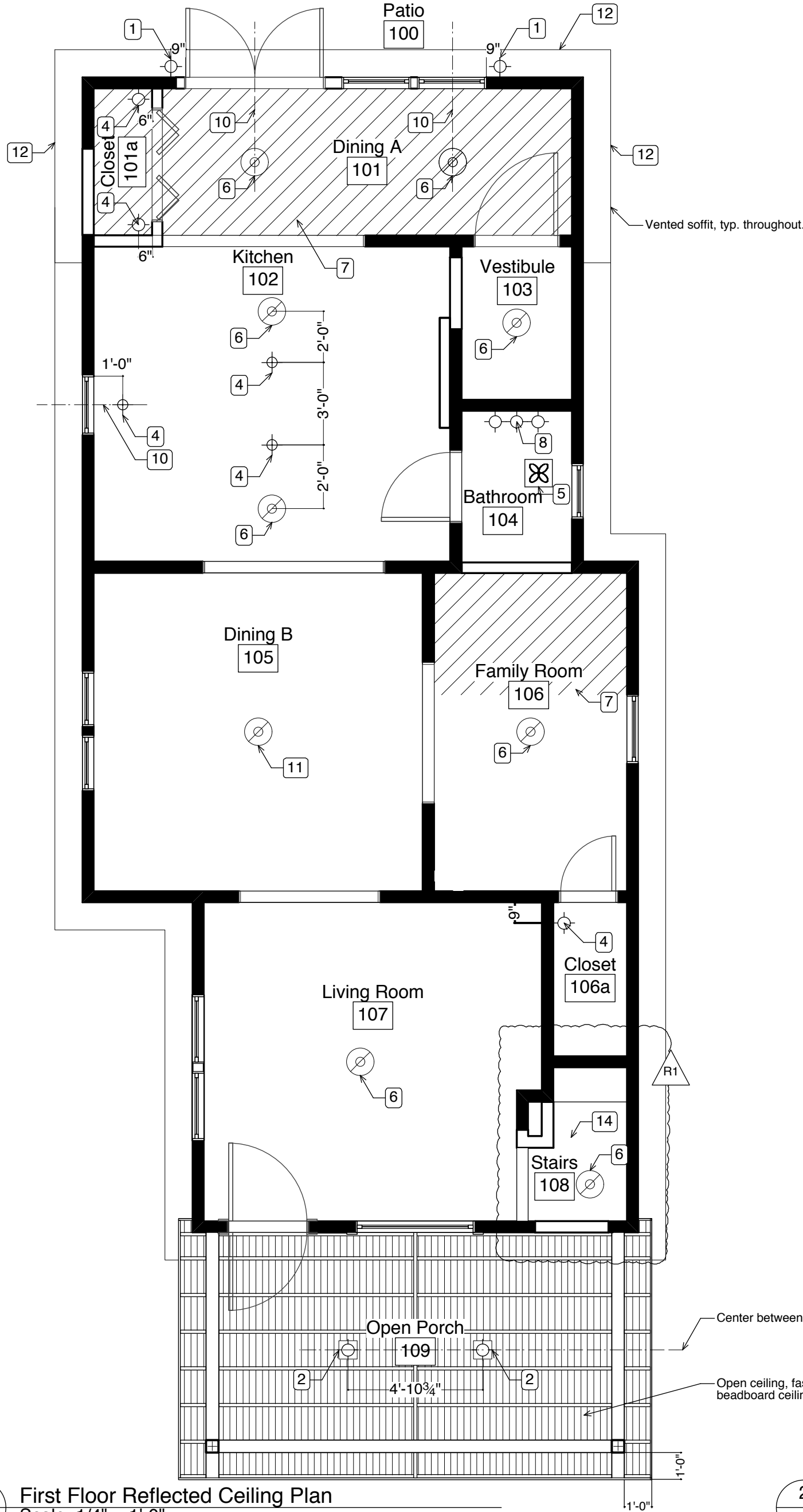
| | |
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| Consultant | |
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| Construction Manager | Gail Merriam |
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|---------------|--|
| Project Title | City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN |
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| Drawing Title | Reflected Ceiling Plans |
|---------------|-------------------------|

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|--------------------------------|----------------------------|
| Project Manager Scott Wende | Project ID 2012-04 |
| Drawn By JDC-CN | Scale 1/4" = 1'-0" |
| Reviewed By | Drawing No. A121 |
| Date 20121024 | |
| File Name 653 Cook.vwx | |



1 First Floor Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

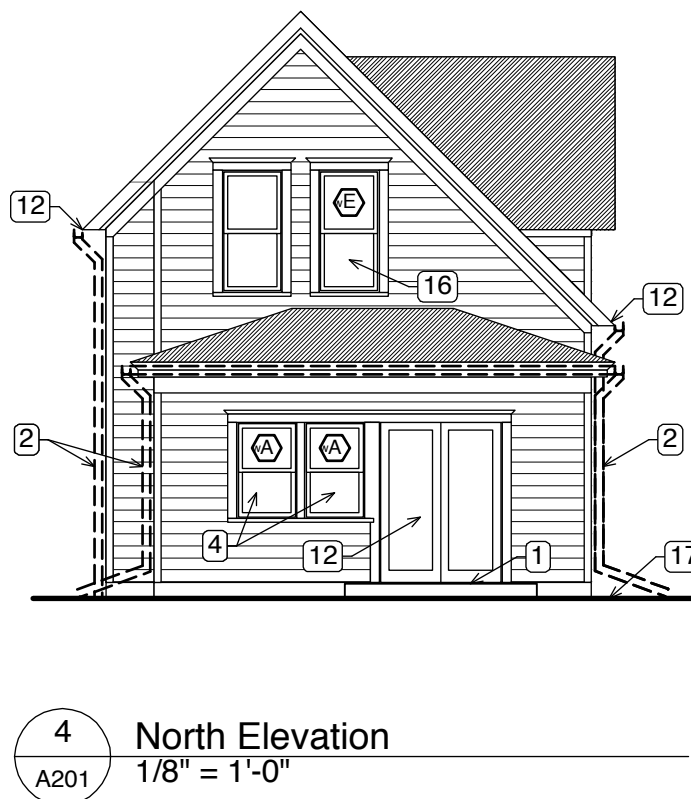
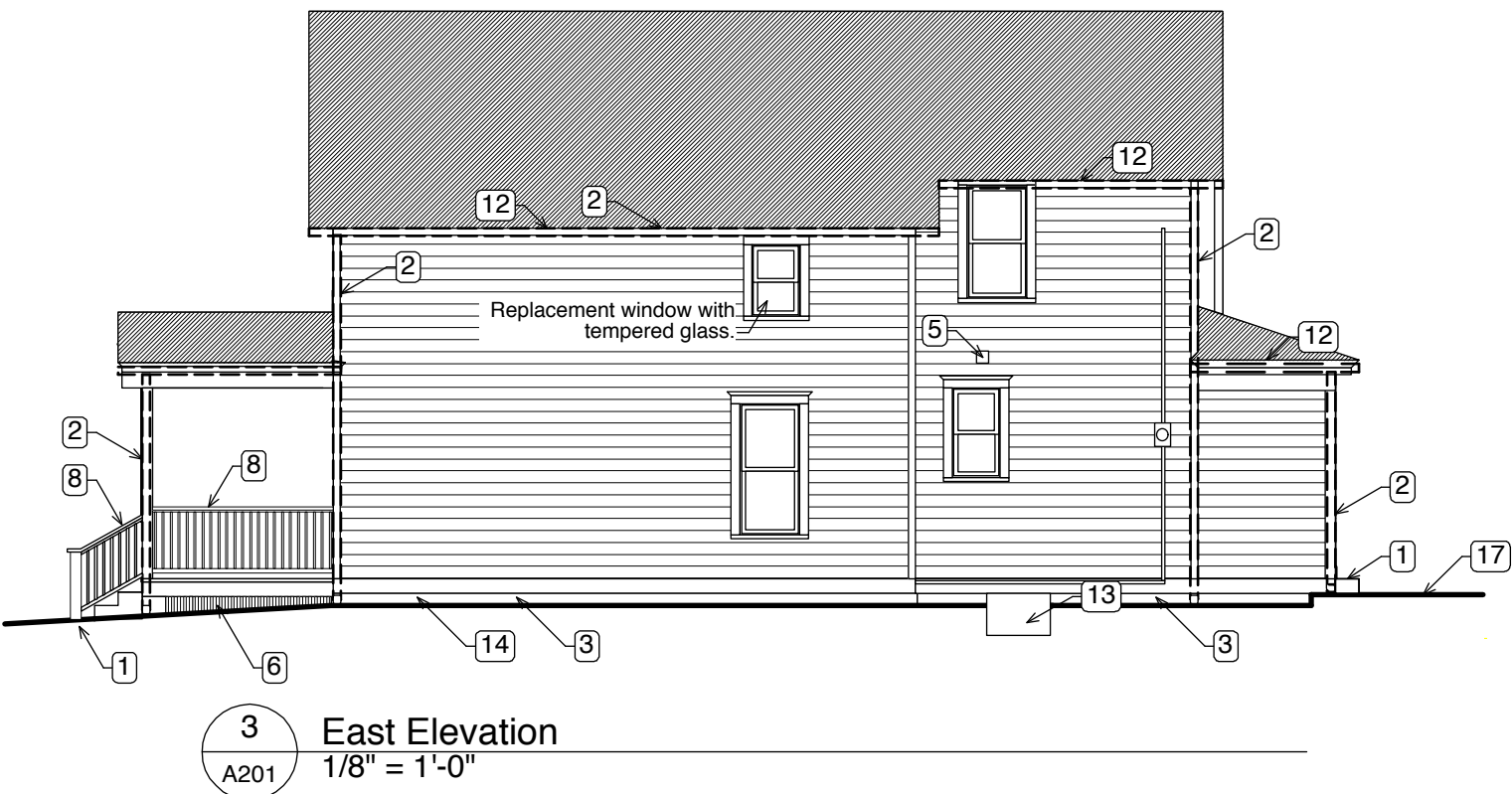
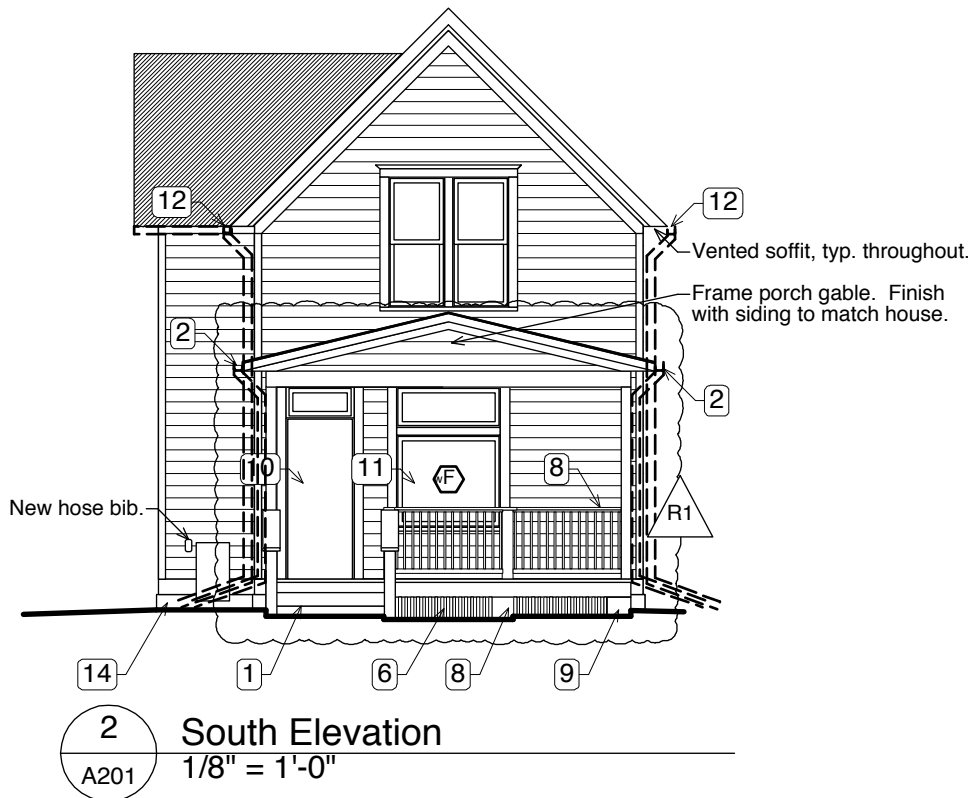
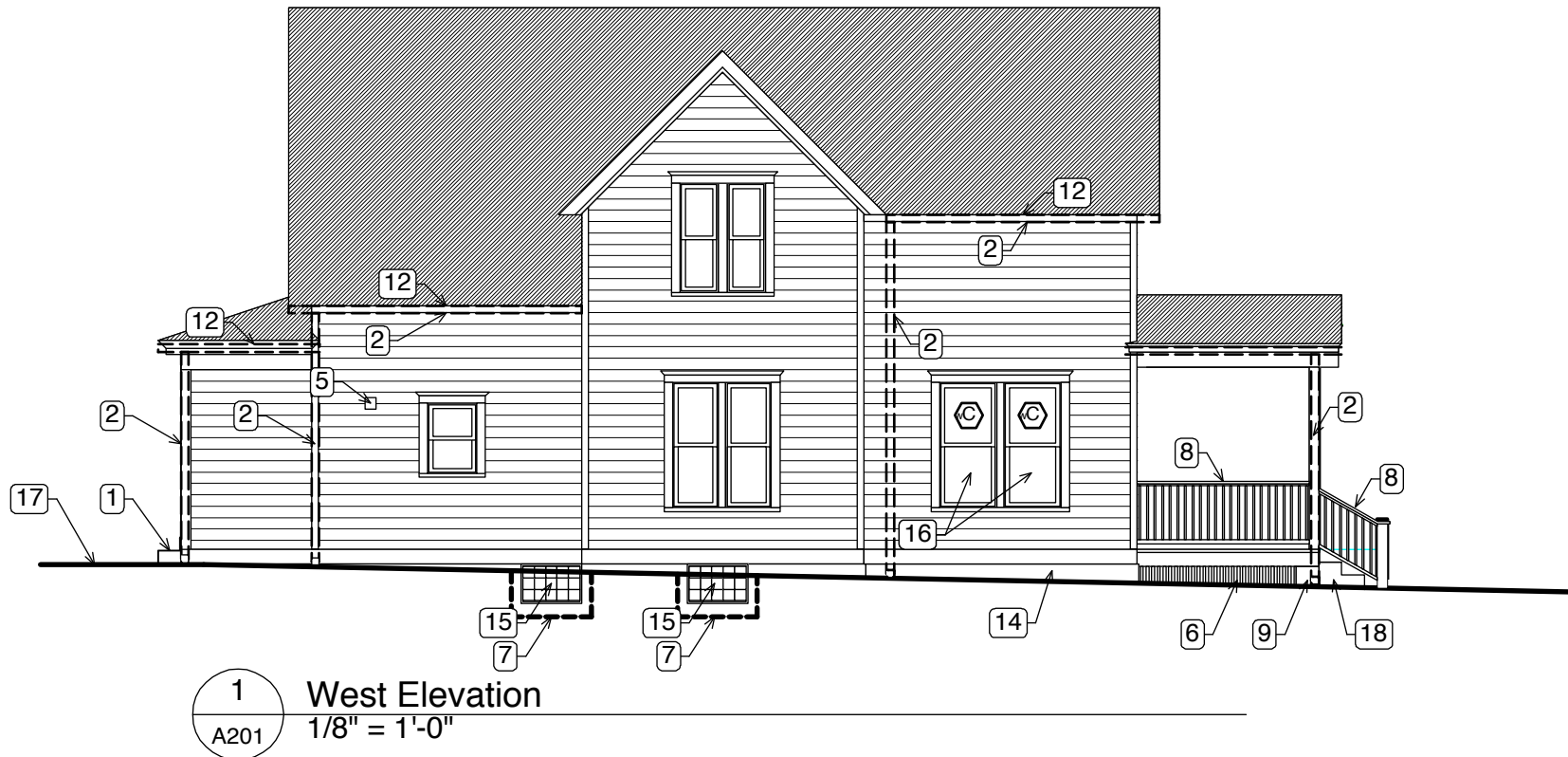
2 Second Floor Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

- GENERAL NOTES - NEW CONSTRUCTION :**
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
 2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
 3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
 4. CLEAN & REINSTALL EXIST DOOR HDWR AS NOTED IF TO BE REUSED.
 5. FULLY ENCAPSULATED LEAD-PAINT @ LOCATIONS PER CODE (SEE HRA REPORT)
 6. ALL OCCUPIABLE SPACES TO HAVE A MIN. CLG. HGT. OF 7'-0" PER CODE. (APPLICATION FOR VARIANCE PER CLIENT REQUEST)
 7. REFINISH HARDWOOD FLOORS WHEN PRESENT (SEE SCHED)
 8. VERIFY ALL EXISTING MECH. & ELEC. FOR CODE COMPLIANCE. INSTALL NEW OUTLETS & FIXTURES AS REQ'D. (SEE SPEC)
 9. PROVIDE FIRE BLOCKING/FIRE SAFING AS REQ'D PER CODE.
 10. VERIFY EXST. SMOKE DETECTION SYS. REUSE IF POSSIBLE, REPLACE PER CODE AS REQ'D.

- New Construction Notes:**
1. All Roofs: new roofing and vents to code. See spec.
 2. New siding and house trim. See spec for type.
 3. All windows are replacement windows. Unless noted otherwise.

Elevation Keynotes

1. New conc. steps. Coordinate sitework with landscape plans and regrading work.
2. New gutter and downspout. Shown dashed. See spec.
3. Metal flashing fastened to pavement and grouted in place. Flashing is exposed min. 8" to pavement and terminates under new siding.
4. New window in modified opening. Match exist. head height, trim & finish.
5. New hooded air vent. Paint to match house. See spec.
6. New porch skirt panels.
7. New window well.
8. New exterior railing per code. See spec.
9. New footing. See struct.
10. New storm/screen door. See spec.
11. New storm window (see spec.)
12. New door in new frame. See spec.
13. Masonry fill exist. opening. Match exterior if possible.
14. Tuckpoint & repair masonry as req'd.
15. Glass block this opening. Install one vented block unit.
16. New window in new opening. Match exist. head height, trim & finish.
17. New pervious paver patio. See spec. Top of pavers ~8" below finished first floor.
18. New conc. steps.



City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|-----|----------|------|--------------------------------------|
| R1 | 10/24/12 | | Revision to front porch/entry layout |

| No. | Date | Issue Notes |
|---|------|-------------|
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. SIGNATURE: <i>Scott Wendt</i> NAME: SCOTT WENDE LICENSE NUMBER: 118071 DATE: October 24, 2012 | | |

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|-------------|--|
| Design Firm | Lunning Wendt Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259 |
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| Consultant | |
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| Construction Manager | Gail Merriam |
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| Project Title | City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN |
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| Drawing Title | Elevations |
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|--------------------------------|----------------------------|
| Project Manager Scott Wendt | Project ID 2012-04 |
| Drawn By JDC-CN | Scale 1/8" = 1'-0" |
| Reviewed By | Drawing No. A201 |
| Date 20121024 | |
| File Name 653 Cook.vwx | |

GENERAL NOTES - NEW CONSTRUCTION :
1. PROVIDE RADON VENTILATION IN BASEMENT PER RADON TEST REPORT RECOMMENDATIONS.
2. ALL INTERIOR WALLS 2X4 WD. FRAMING U.N.O.
3. PROVIDE PAPER FREE GWB OR CEMENT FIBERBOARD @ ALL INTERIOR WALL LOCATIONS W/ PLUMBING FIXTURE.
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New Construction Notes:
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2. New siding and house trim. See spec for type.
3. All windows are replacement windows. Unless noted otherwise.


| ROOM FINISH SCHEDULE | | | | | | | | | | | | | | | | |
|--|-------------|----------|--------|--------|----------|--------|----------|--------|----------|--------|----------|--------|----------|--------|------------------------|--|
| | | Floor | | Base | North | | East | | South | | West | | Ceiling | | Comments | |
| Number | Room Name | Material | Finish | Finish | Material | Finish | Material | Finish | Material | Finish | Material | Finish | Material | Finish | | |
| 001 | Basement | exist | exist | — | — | — | — | — | — | — | — | — | — | — | | |
| 101 | Dining A | wood | wood | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 101a | Closet | wood | wood | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 102 | Kitchen | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | — | Patch existing texture | |
| 103 | Vestibule | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| 104 | Bathroom | exist | exist | paint | exist | paint | exist | paint | gwb | paint | exist | paint | exist | paint | | |
| 105 | Dining B | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| 106 | Family Room | wood | wood | paint | gwb | paint | exist | paint | gwb | paint | exist | paint | exist | paint | | |
| 106a | Closet | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| 107 | Living Room | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| 108 | Stairs | wood | wood | paint | exist | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 109 | Open Porch | stain | stain | — | — | — | — | — | — | — | — | — | wood | stain | | |
| 201 | Bedroom | wood | wood | paint | exist | paint | exist | paint | gwb | paint | gwb | paint | exist | paint | | |
| 201a | Closet | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| 202 | Bedroom | wood | wood | paint | gwb | paint | gwb | paint | exist | paint | exist | paint | gwb | paint | | |
| 202a | Closet | wood | wood | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 203 | Bathroom | ct | ct | paint | exist | paint | exist | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 204 | Hallway | wood | wood | paint | exist | paint | exist | paint | gwb | paint | gwb | paint | gwb | paint | | |
| 205 | Bedroom | wood | wood | paint | gwb | paint | exist | paint | exist | paint | exist | paint | gwb | paint | | |
| 205a | Closet | wood | wood | paint | exist | paint | exist | paint | exist | paint | exist | paint | exist | paint | | |
| NOTE: See specification & material list for all interior finish selections | | | | | | | | | | | | | | | | |

| DOOR SCHEDULE | | | | | | | | | |
|--|-------|-----------|-----------|----------|-------|----------|--------|----------|--|
| Door Number | Door | | | | Frame | | | Hardware | Comments |
| | Width | Height | Thickness | Material | Type | Material | Finish | | |
| d 101 a | 5'0" | 6'8" | - | metal | wood | paint | paint | bolt | New french door, see spec. |
| d 101 b | 4'0" | 6'8" | - | wood | wood | paint | paint | - | Bi-fold closet doors. Reuse trim from demo when possible |
| d 101 c* | 3'0" | 6'8" | - | wood | wood | paint | paint | passage | Reuse door & trim from demo |
| d 104 * | 2'6" | 6'8" | - | wood | wood | paint | paint | privacy | New door in existing frame |
| d 106 * | 2'0" | 6'5" | - | wood | wood | paint | paint | passage | New door in existing frame |
| d 107 a | 2'10" | 6'8" | - | metal | wood | paint | paint | blot | New door and frame |
| d 107 s | 2'10" | 6'8" | - | metal | | | | - | New strom door. Fit to frame. |
| d 201 * | 2'8" | 6'5" | - | wood | wood | paint | paint | privacy | New door in existing frame. Reuse trim from demo |
| d 201 a* | 2'6" | 6'2" | - | wood | wood | paint | paint | passage | New door in existing frame |
| d 202 | 2'8" | 6'5" | - | wood | wood | paint | paint | - | New door and frame |
| d 202 a | 2'6" | 6'5" | - | wood | wood | paint | paint | - | New door and frame |
| d 203 * | 2'6" | 6'5" | - | wood | wood | paint | paint | privacy | New door in existing frame (verify that exist opening works with new lav location) |
| d 205 | 2'8" | 6'5" | - | wood | wood | paint | paint | privacy | Reuse door & trim from demo |
| d 205 a* | 2'0" | 5'11 1/2" | - | wood | wood | paint | paint | passage | New door in existing frame |
| 'age 1 | 3'0" | 6'8" | - | metal | wood | | | bolt | |
| 'age 2 | 16'0" | 7'0" | - | metal | wood | paint | paint | G.D. | Garage door with electric opener |
| <i>*General Door and Frame Note: prior to demolition and replacement of existing doors and/or frames verify all door panel and frame sizes. Notify architect immediately if conflict arises between new/replacment door and fixture or wall.</i> | | | | | | | | | |

| Window Schedule | | | | | | |
|-----------------|------|--------|--------|--------|-------------|----------------------------------|
| Type | Qty. | Width | Height | Head | Int. Finish | Comments |
| A | 2 | 30" | 48" | 80" | pt | New double hung. |
| C | 2 | 30" | 66" | 88" | pt | New double hung. |
| E | 1 | 30" | 61" | 88" | pt | new double hung. Match adjacent. |
| F | 1 | verify | verify | verify | pt | new insulated storm window. |

Note: All windows are new replacement windows. Unless Noted otherwise. See plans & elevations.

City of Saint Paul • HRA
Residence Remodel
653 Cook Avenue
Saint Paul, MN

| No. | Date | Appr | Revision Notes |
|---|----------|-----------------------|--|
| <div><div>R1</div></div> | 10/24/12 | | Revised Door and Room Finish Schedules |
| A | 7/19/12 | Issue for Bid | |
| No. | Date | Issue Notes | |
| I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. SIGNATURE: <div>Scott Wende</div> NAME: SCOTT WENDE LICENSE NUMBER: 118071 DATE: October 24, 2012 | | | |
| Design Firm <div><div></div><div>Lunning Wende Associates, Inc. 275 Fourth Street East, Suite 620 Saint Paul, MN 55101 P: 651.221.0915 F: 651.222.6259</div></div> | | | |
| Consultant | | | |
| Construction Manager Gail Merriam | | | |
| Project Title City of Saint Paul • HRA Residence Remodel 653 Cook Avenue Saint Paul, MN | | | |
| Drawing Title Schedules | | | |
| Project Manager Scott Wende | | Project ID 2012-04 | |
| Drawn By JDC-CN | | Scale No scale | |
| Reviewed By | | Drawing No. | |
| Date 20121024 | | A601 | |
| File Name 653 Cook.vwx | | | |